

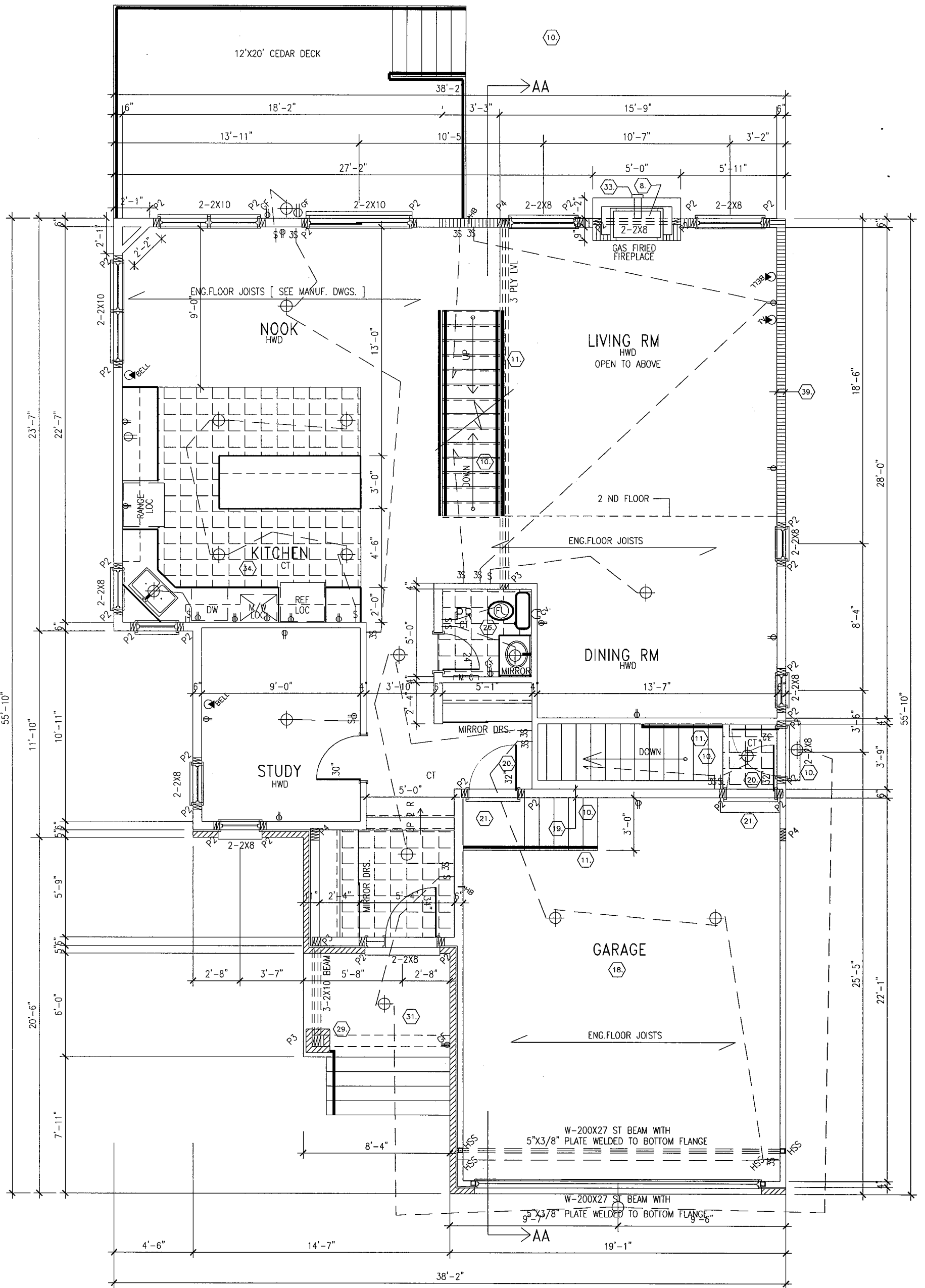
**BASEMENT PLAN**

REG PLAN 4M-373	
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	REVISIONS	Date
SITE: 38 HILLPARK HIGH ST.		

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2	<i>FAM &amp; REV</i>	<i>05/01/17</i>
1	GENERAL REVISION	NOV 12 2016
No.	Description	Date
REVISIONS		

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drawn by: JW	
date: AUG 2016	
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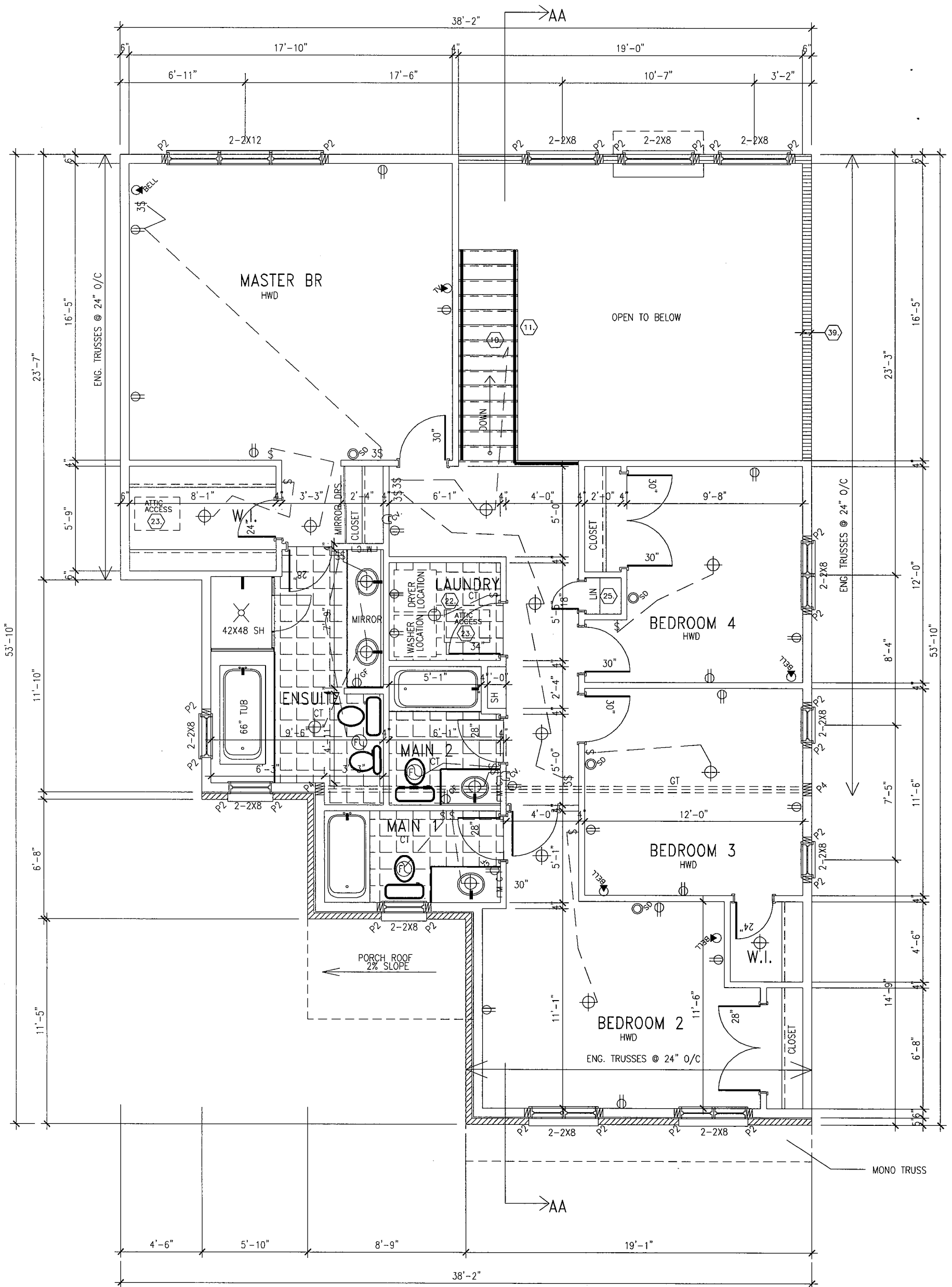
REG PLAN 4M-373  
**GROUND FLOOR PLAN**  
**1315 SQ FT**

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6	GENERAL REVISION	NOV 12 2016
	REVISIONS	Date
SITE: 38 HILLPARK HIGH ST.		

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No.	Description	Date
	REVISIONS	

*SAU & TAD 05/01/17*

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date:	AUG 2016
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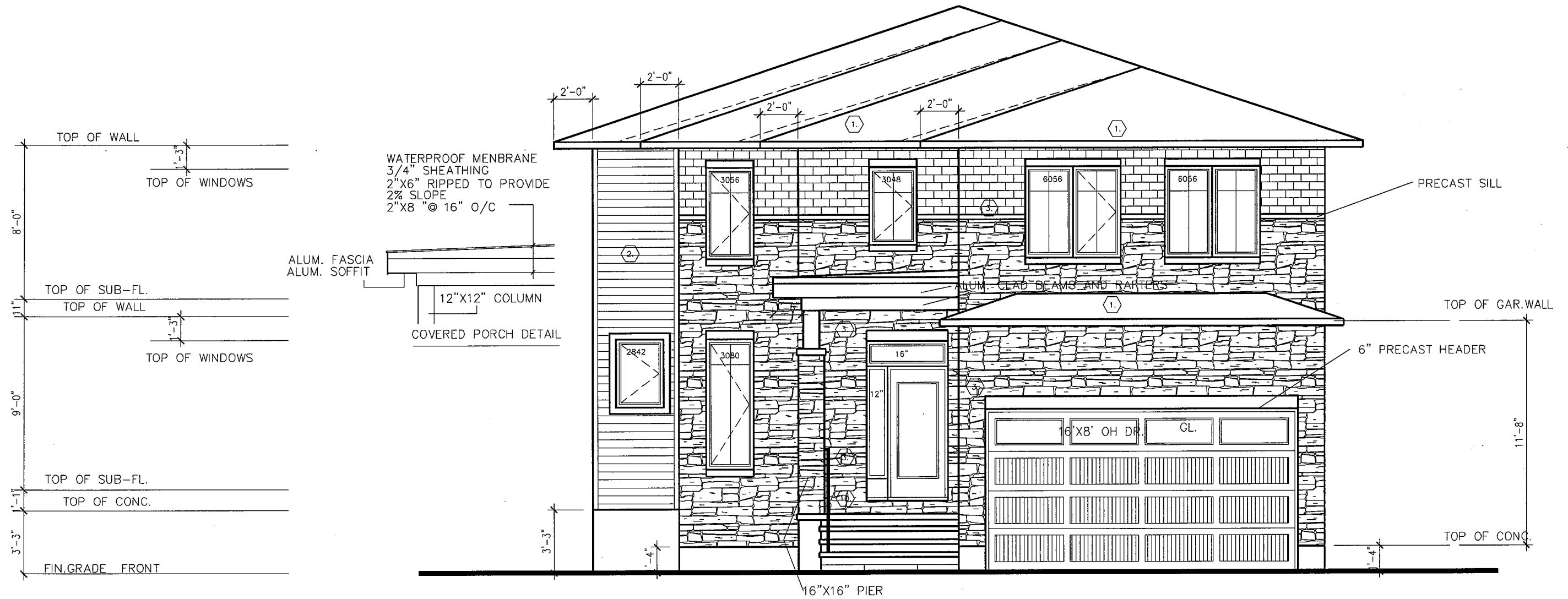
REG PLAN 4M-373  
**SECOND FLOOR PLAN**  
**1360 SQ FT**

REVISIONS	Date
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SITE: 38 HILLPARK HIGH ST.

No.	Description	Date
5		
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3	<i>FAM &amp; REV.</i>	<i>05/01/17</i>
2	HWD. FLOORING IN BEDROOMS	NOV. 18 2016
1	GENERAL REVISION	NOV 12 2016

sht. title: GROUND FLOOR PLAN	
drawn by: JW	
date: AUG 2016	
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FRONT ELEVATION

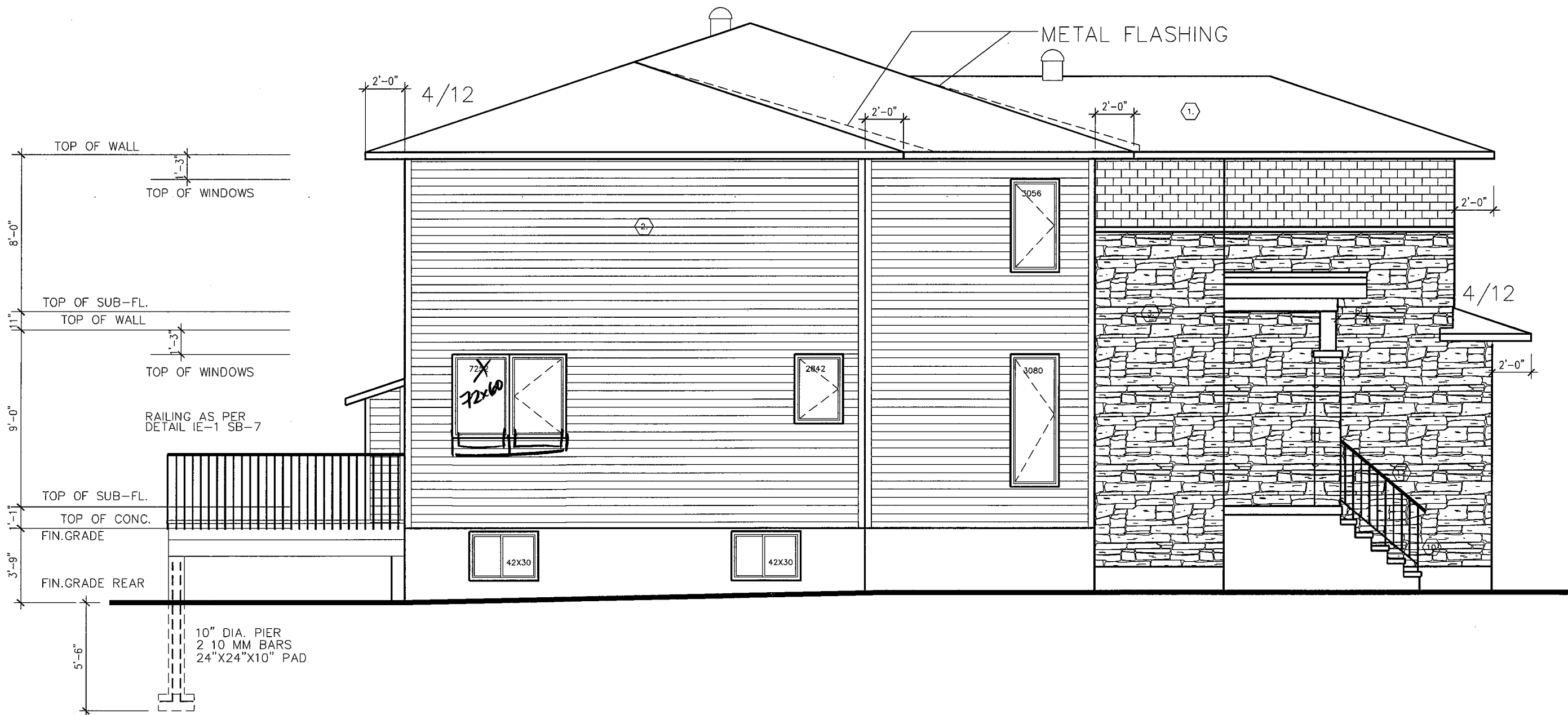
TOTAL INS. WALL AREA [FIN GR. TO TOP OF WALL] 4215 SQ.FT.  
 TOTAL RSO WINDOWS & DRS 490.1 SQ FT.  
 TOTAL PERCENTAGE OF OPENINGS 11.627 %

sht. title: ELEVATIONS'		5
drawn by:		4
date: SEPT 2016		3
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MARCH 17 2017	ROOF SLOPE	2
NOV 12 2016	GENERAL REVISION	1
Date	Description	No.
	REVISIONS	

Date	REVISIONS	8
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SITE: 38 HILLPARK HIGH ST.		

FRONT ELEVATION	
LOT NUMBER: 38	
REG. PLAN 4M 373	



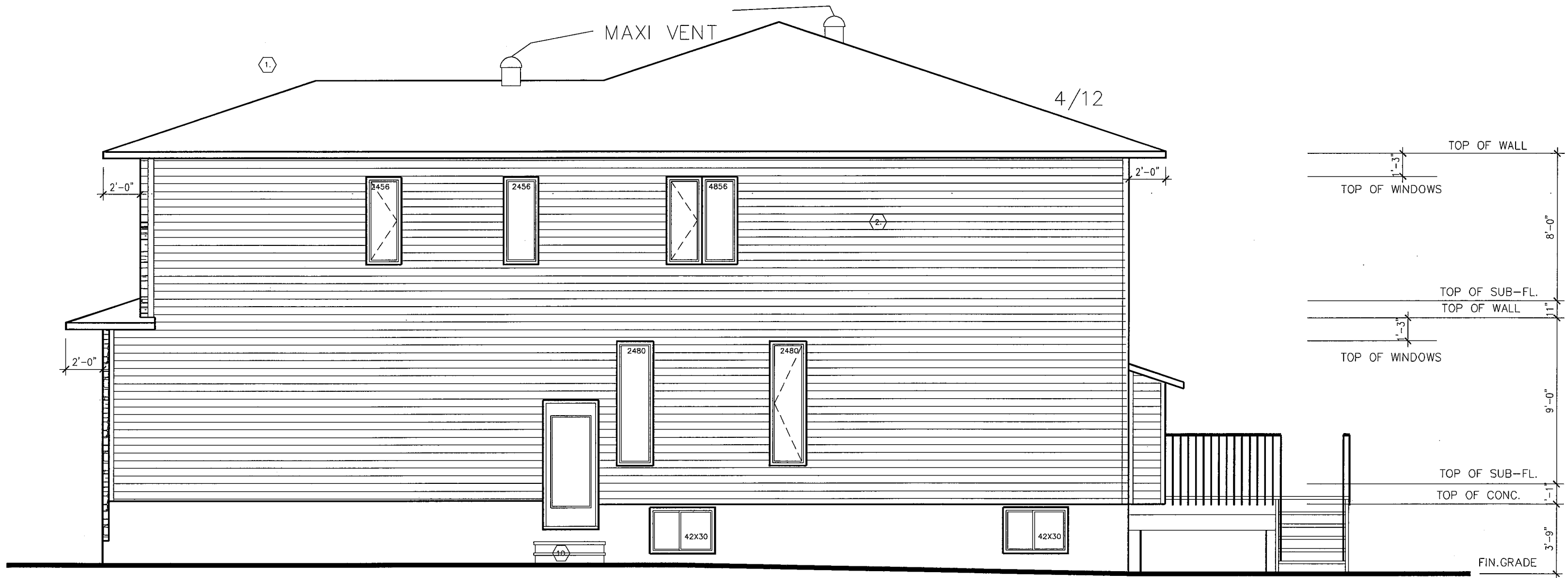
LEFT SIDE

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6 11	sheet no: 6

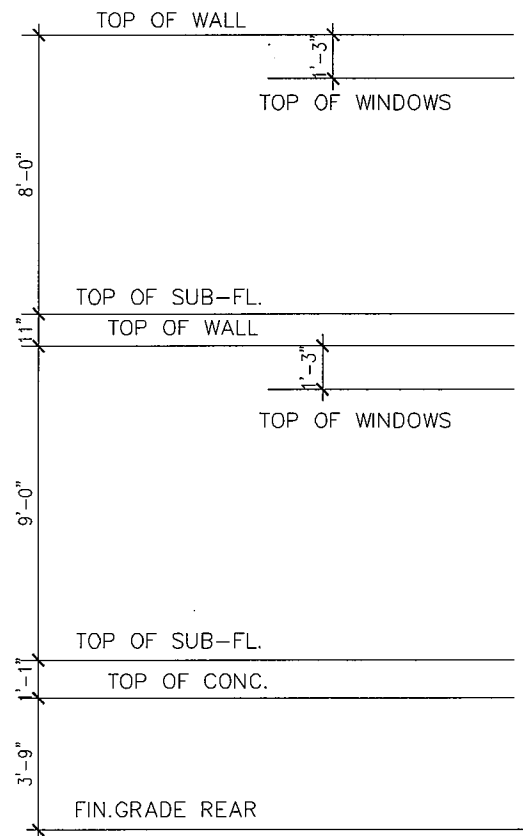
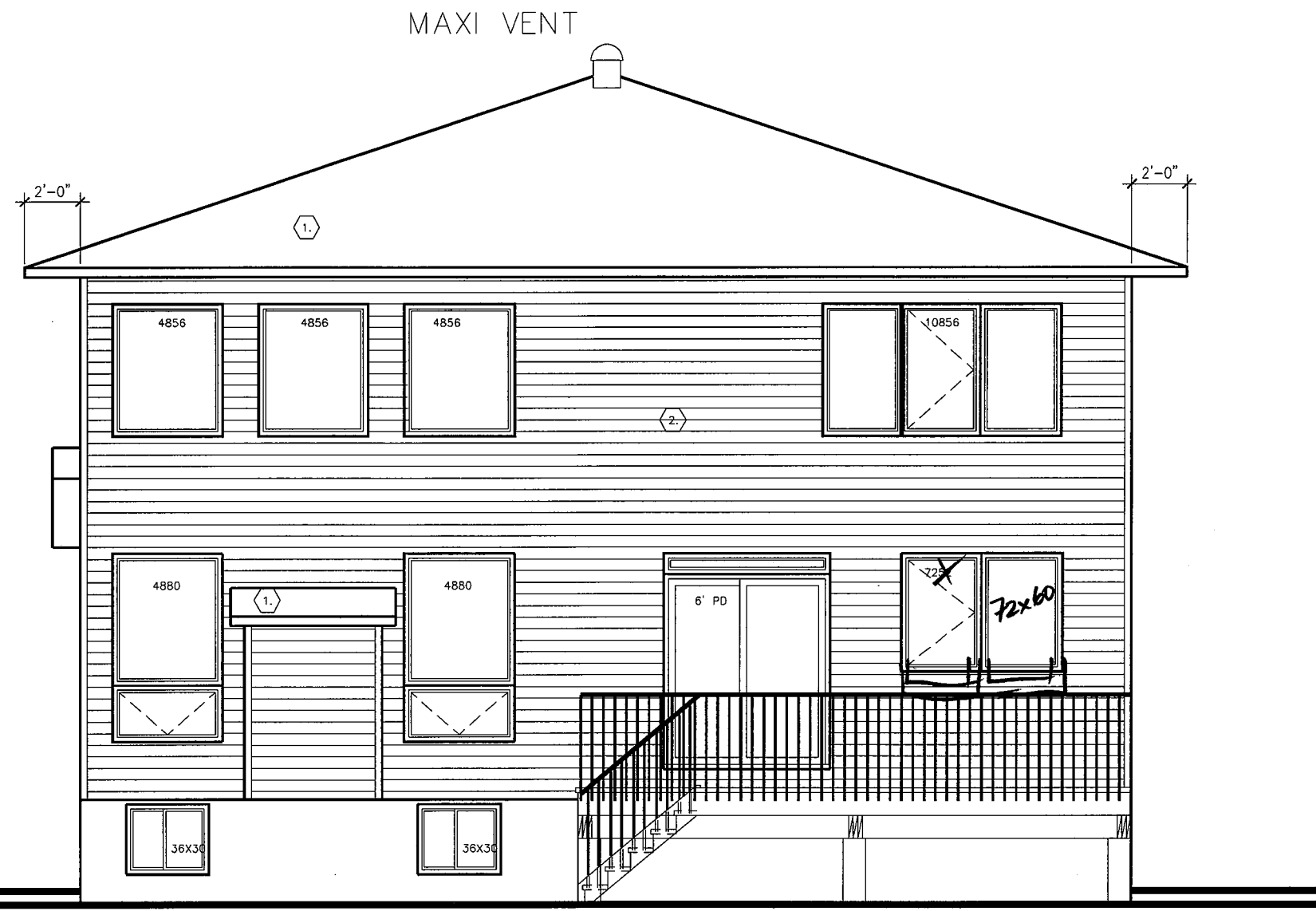
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MARCH 17 2017	ROOF SLOPE	2
NOV 12 2016	GENERAL REVISION	1
Date	Description	No.
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Date	REVISIONS	
SITE: 38 HILLPARK HIGH ST.		

LEFT SIDE ELEV.	
LOT NUMBER: 38	
REG. PLAN 4M 373	



sht. title: ELEVATIONS' drawn by: date: SEPT 2016 scale: 3/16"=1' <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; flex-direction: column; align-items: center; justify-content: center;"> <span style="border-bottom: 1px solid black; padding: 2px 5px;">7</span> <span style="padding: 2px 5px;">11</span> </div> <div style="text-align: right;">             sheet no:  <span style="font-size: 2em;">7</span> </div> </div>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Date</th> <th style="width: 60%;">Description</th> <th style="width: 25%;">No.</th> </tr> </thead> <tbody> <tr> <td>MARCH 17 2017</td> <td>ROOF SLOPE</td> <td style="text-align: center;">5</td> </tr> <tr> <td>NOV 12 2016</td> <td>GENERAL REVISION</td> <td style="text-align: center;">1</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">2</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">3</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">4</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">5</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">6</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">7</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">8</td> </tr> </tbody> </table>	Date	Description	No.	MARCH 17 2017	ROOF SLOPE	5	NOV 12 2016	GENERAL REVISION	1			2			3			4			5			6			7			8	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Date</th> <th style="width: 60%;">REVISIONS</th> <th style="width: 25%;">No.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td style="text-align: center;">6</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">7</td> </tr> <tr> <td> </td> <td> </td> <td style="text-align: center;">8</td> </tr> </tbody> </table>	Date	REVISIONS	No.			6			7			8	<h2 style="margin: 0;">RIGHT SIDE ELEV.</h2> <p style="margin: 5px 0 0 0;">LOT NUMBER: 38</p> <p style="margin: 0 0 0 0;">REG. PLAN 4M 373</p>
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SITE: 38 HILLPARK HIGH ST.																																													



REAR ELEVATION

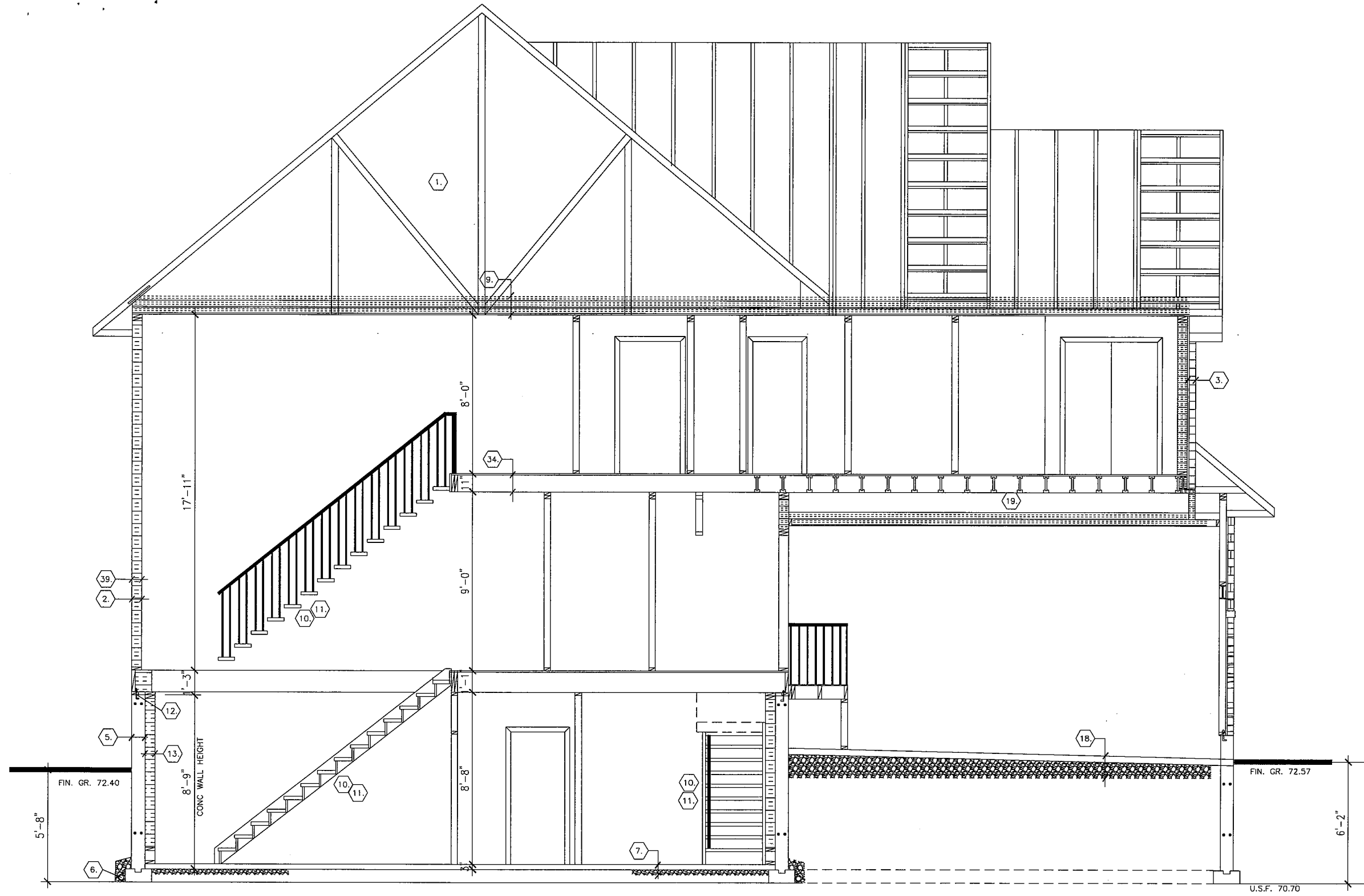
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MARCH 17 2017	ROOF SLOPE	2
NOV 12 2016	GENERAL REVISION	1
Date	Description	No.
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Date	REVISIONS	
SITE: 38 HILLPARK HIGH ST.		

REAR ELEVATION	
LOT NUMBER: 38	
REG. PLAN 4M 373	





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drawn by: JW	AUG 2016		
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No.	Description	Date
1	GENERAL REVISION	NOV. 12 2016
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REVISIONS	Date

HILLPARK HIGH ST.

SITE:

REG PLAN 4M-373

# STUD WALL REINFORCEMENT FOR FUTUR GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM  
 FUTUR GRAB BARS TO BE MOUNTED TO RESIST HORIZONTAL AND VERTICAL LOADS OF 1.3 KN  
 REFER TO OBC 9.5.2.3 [1] [D]

## 1 VERTICAL STUDS

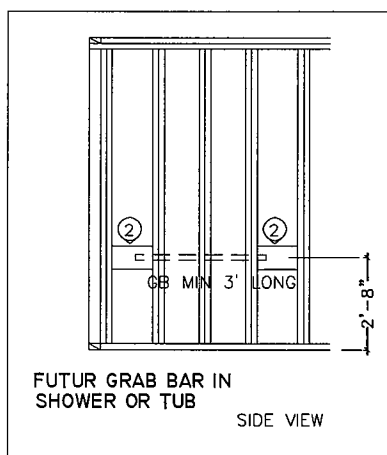
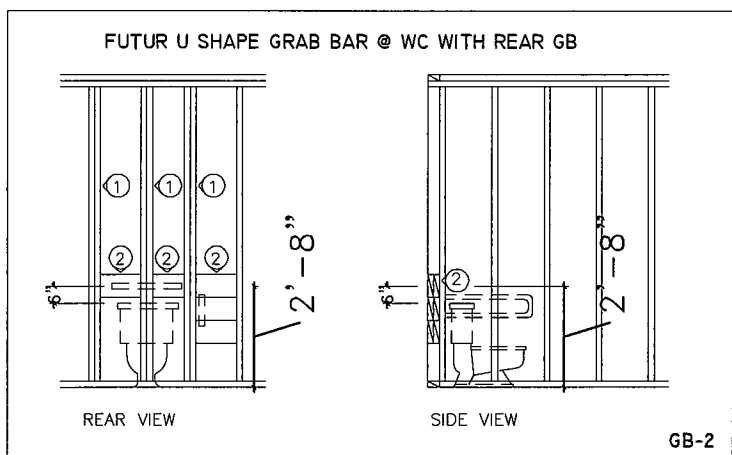
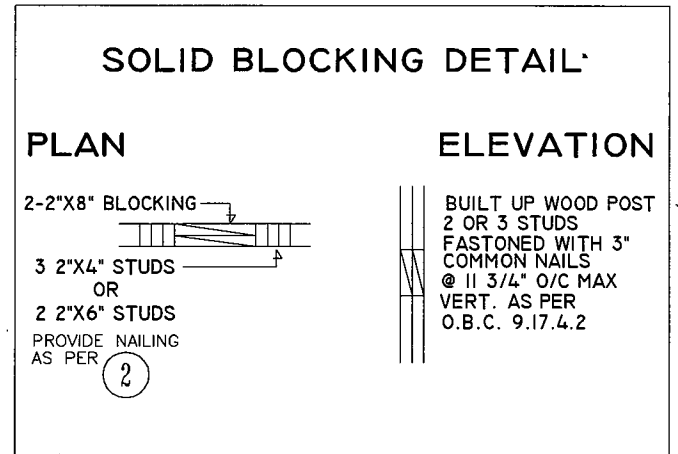
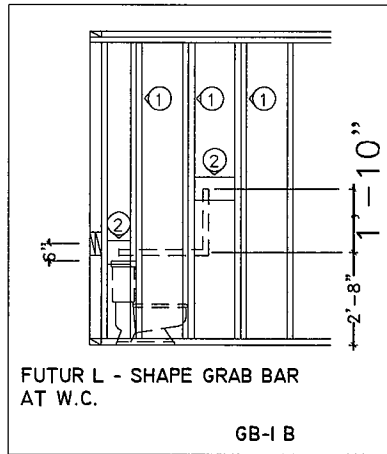
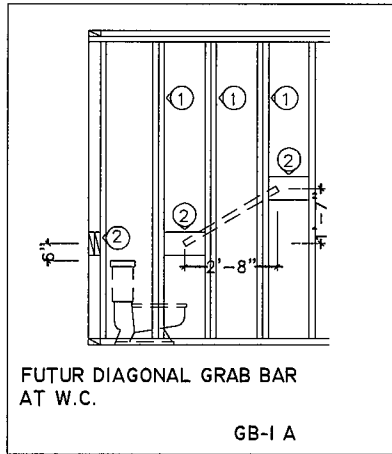
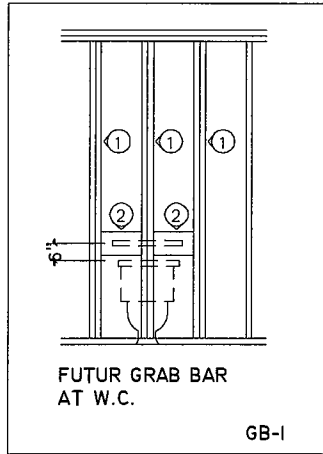
9'-0" HIGH CEILINGS  
 2 1/2"X6" SP # 2  
 OR  
 3 1/2"X4" SP # 2

## VERTICAL STUDS

8'-0" HIGH CEILINGS  
 2 1/2"X6" SP # 2  
 OR  
 3 1/2"X4" SP # 2 [4" WALL]

## 2 SOLID BLOCKING

2 1/2"X8" SPR #2 NAILED WITH 3- ROWS OF 3" LONG COMMON NAILS AT 6" OC AND END TO STUDS WITH 6- 3 1/2" LONG COMMON NALES



## FRAMING DETAILS AS PER OBC TABLE A - 30

### MAX. HEIGHT FOR 2"X4" AT GARAGE WALL AS FOLLOWS

- 2"X4" @ 16" O.C. = 9'-10"
- 2 - 2"X4" @ 12" O.C. = 10'-9"
- 3 - 2"X4" @ 16" O.C. = 11'-2"
- 3 - 2"X4" @ 12" O.C. = 12'-4"

### NOTES

- 1 FOR ROOF DESIGN SNOW LOAD OF 2.6 KPA
- 2 SUPPORTED ROOF TRUSS LENGTH OF 6.0 METERS AND FLOOR JOISTS LENGTH OF 2.5M OF ONE FLOOR
- 3 PROVIDE HORIZONTAL SOLID BLOCKING 1200 O.C. [4'-0"]
- 4 PROVIDE A MINIMUM OF 9.5 MM [3/8"] PLYWOOD OR OSB EXT. SHEATHING ON EXTERIOR FACE

### MAX. HEIGHT FOR 2"X6" EXTERIOR WALLS AS FOLLOWS

- 2"X6" @ 16" O.C. = 12'-6"
- 2"X6" @ 12" O.C. = 13'-10"
- 2-2"X6" @ 16" O.C. = 15'-0"
- 2-2"X6" @ 12" O.C. = 17'-4"

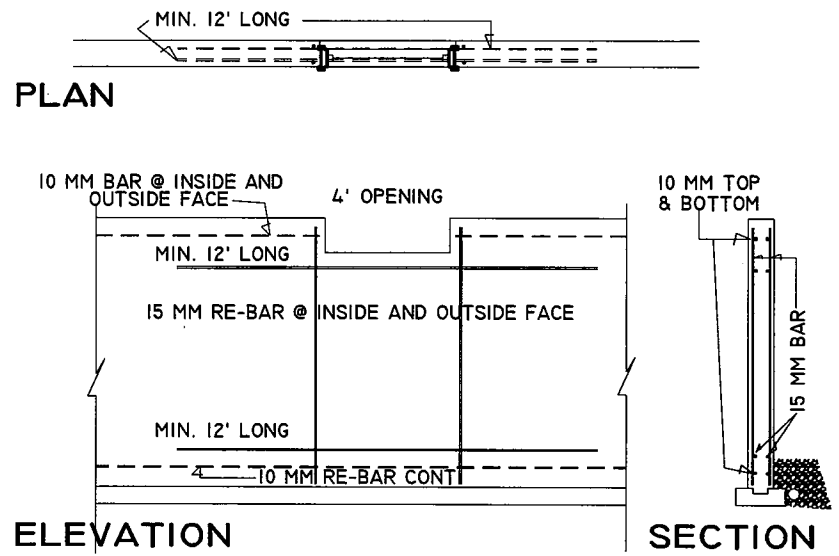
### MAX. HEIGHT FOR 2"X8" EXTERIOR WALLS AS FOLLOWS

- 2"X8" @ 16" O.C. = 16'-0"
- 2"X8" @ 12" O.C. = 17'-9"
- 2- 2"X8" @ 16" O.C. = 20'-4"
- 2- 2"X8" @ 12" O.C. = 22'-4"

### NOTES

- 1 FOR ROOF DESIGN SNOW LOAD OF 1.92 KPA [40 psf]
  - 2 SUPPORTED ROOF TRUSS LENGTH OF 6.0 METERS ONLY
  - 3 PROVIDE HORI. SOLID BLOCKING @ 1200 O.C. [4'-0"]
  - 4 PROVIDE A MIN. OF 9.5MM [3/8"] PLYWOOD OR OSB EXT. SHEATHING ON EXTERIOR FACE AND 12.5 MM [1/2"] GYPSUM BOARD ON INTERIOR FACE
  - 4 PROVIDE A MIN. OF 9.5MM [3/8"] PLYWOOD OR OSB EXT.
  - 5 WALL FRAMING SHALL CONFORM TO O.B.C. 9.23.10.1.[2]
- \*\*INFORMATION AS PER TABLE A 30 O.B.C.\*\*

## RE-BAR DETAIL FOR BASEMENT WINDOWS WIDER THAN 4' 0"



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drawn by:
date: AUG 2016
scale: 3/16"=1'
sheet no: 10

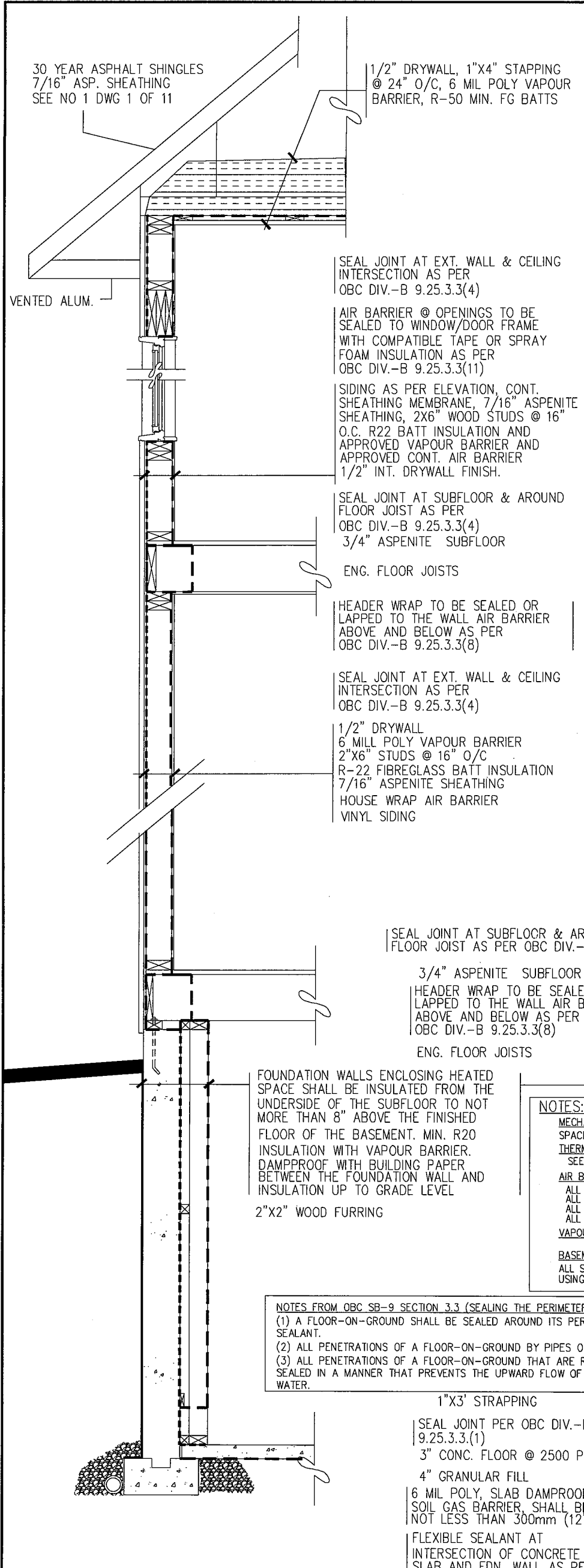
NOV 12 2016	GENERAL REVISION	1
Date	Description	No.
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REG. PLAN 4M-373	
Date	REVISIONS

**OBC 2006**

LOT NUMBER: 38

HILLPARK HIGH STREET



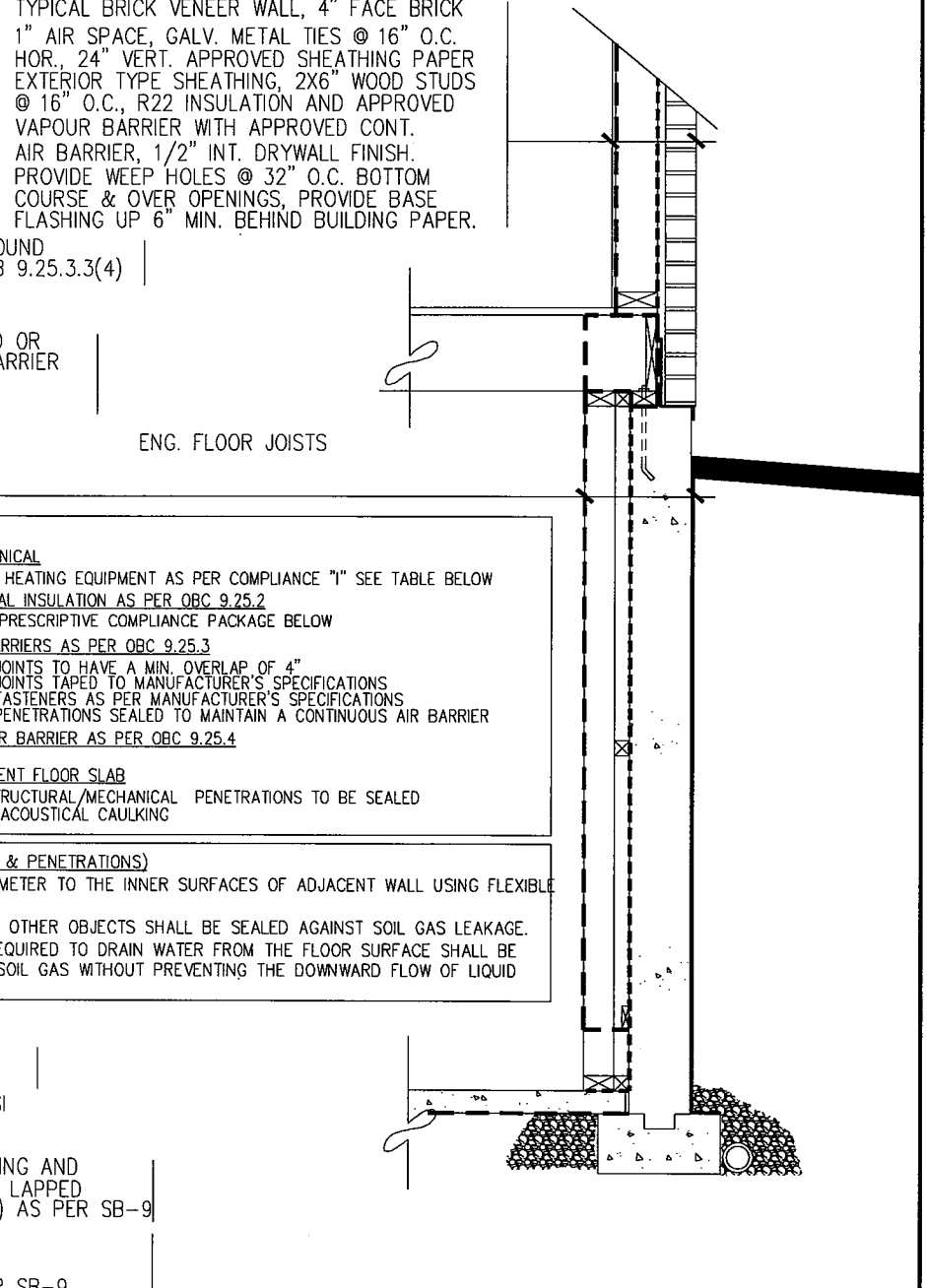
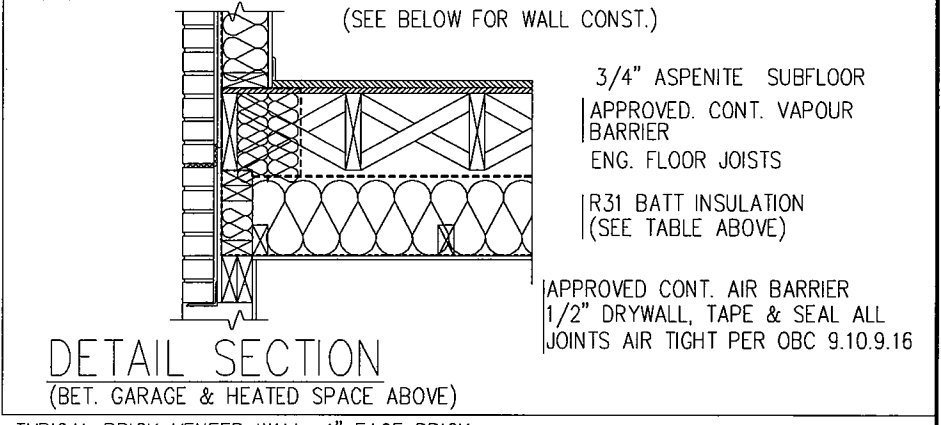
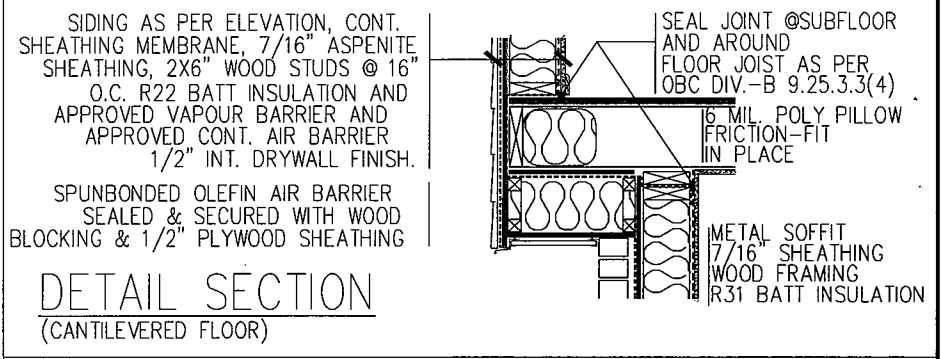
TYP. DETAIL SECTION  
FOR SIDING APPLICATION

PREScriptive COMPLIANCE PACKAGE

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12 SECTION 2.1.1.1 (RATIO OF GROSS AREA OF GLAZING TO PERIPHERAL WALLS ARE LESS THAN 17%)

O.B.C. TABLE 2.1.1.2.A COMPLIANCE PACKAGE "1"

1. CEILING WITH ATTIC SPACE - MIN. (RSI 8.81) R50
2. CEILING WITHOUT ATTIC SPACE - MIN. (RSI 5.46) R31
3. EXPOSED FLOOR - MIN. (RSI 5.46) R31
4. WALLS ABOVE GRADE - MIN. (RSI 3.87) R22
5. BASEMENT WALLS - MIN. (RSI 3.52) R20
6. EDGE OF BELOW GRADE SLAB (LESS THAN OR EQUAL TO 24" B.G.) - MIN. (RSI 1.76) R10
7. HEATED SLAB (OR SLAB LESS THAN OR EQUAL TO 24" B.G.) - MIN. (RSI 1.76) R10
8. WINDOWS & SLIDING GLASS DOORS - MAX. U VALUE OF 1.8
9. SKYLIGHTS MAX. U VALUE OF 2.8
10. SPACE HEATING EQUIPMENT - MIN. AFUE OF 92%
11. HRV - MIN. EFFICIENCY OF 55%
12. DOMESTIC HOT WATER HEATER, MIN. EF OF 0.62%



PART TYP. DETAIL SECTION  
FOR BRICK VENEER APPLICATION

NOTES:

MECHANICAL  
SPACE HEATING EQUIPMENT AS PER COMPLIANCE "1" SEE TABLE BELOW  
THERMAL INSULATION AS PER OBC 9.25.2  
SEE PRESCRIPTIVE COMPLIANCE PACKAGE BELOW

AIR BARRIERS AS PER OBC 9.25.3  
ALL JOINTS TO HAVE A MIN. OVERLAP OF 4"  
ALL JOINTS TAPED TO MANUFACTURER'S SPECIFICATIONS  
ALL FASTENERS AS PER MANUFACTURER'S SPECIFICATIONS  
ALL PENETRATIONS SEALED TO MAINTAIN A CONTINUOUS AIR BARRIER  
VAPOUR BARRIER AS PER OBC 9.25.4

BASEMENT FLOOR SLAB  
ALL STRUCTURAL/MECHANICAL PENETRATIONS TO BE SEALED  
USING ACOUSTICAL CAULKING

NOTES FROM OBC SB-9 SECTION 3.3 (SEALING THE PERIMETER & PENETRATIONS)

(1) A FLOOR-ON-GROUND SHALL BE SEALED AROUND ITS PERIMETER TO THE INNER SURFACES OF ADJACENT WALL USING FLEXIBLE SEALANT.

(2) ALL PENETRATIONS OF A FLOOR-ON-GROUND BY PIPES OR OTHER OBJECTS SHALL BE SEALED AGAINST SOIL GAS LEAKAGE.

(3) ALL PENETRATIONS OF A FLOOR-ON-GROUND THAT ARE REQUIRED TO DRAIN WATER FROM THE FLOOR SURFACE SHALL BE SEALED IN A MANNER THAT PREVENTS THE UPWARD FLOW OF SOIL GAS WITHOUT PREVENTING THE DOWNWARD FLOW OF LIQUID WATER.

HILLPARK HIGH ST.

LOT 38

DETAIL SECTION AND NOTES  
FOR SB-9 AND SB-12  
OF THE OBC

No.	Description	Date
2		
1	GENERAL REVISION	NOV. 12 2016
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file number: SB9-SB12
drawn by:
date: AUG 2016
scale: 1/2" = 1'-0"
sheet no: 11